



Rollings Drive, Coventry, CV2 3QN

**SHELDON  
BOSLEY  
KNIGHT**

LAND AND  
PROPERTY  
PROFESSIONALS



# Property Description

Sheldon Bosley Knight are delighted to present this modern three-bedroom detached home with en-suite shower room, ideally situated in the ever-popular CV2 Stoke Heath area of Coventry. Perfect for young families, first-time buyers, or savvy investors, this stylish property offers a well-balanced layout, contemporary interiors, and a superb location, just a short distance from University Hospital Coventry and a wide range of local amenities.

The ground floor features a welcoming entrance hall, a comfortable lounge, and a modern kitchen/diner with patio doors opening onto the rear garden, ideal for family meals or entertaining. A convenient downstairs WC completes the ground floor accommodation.

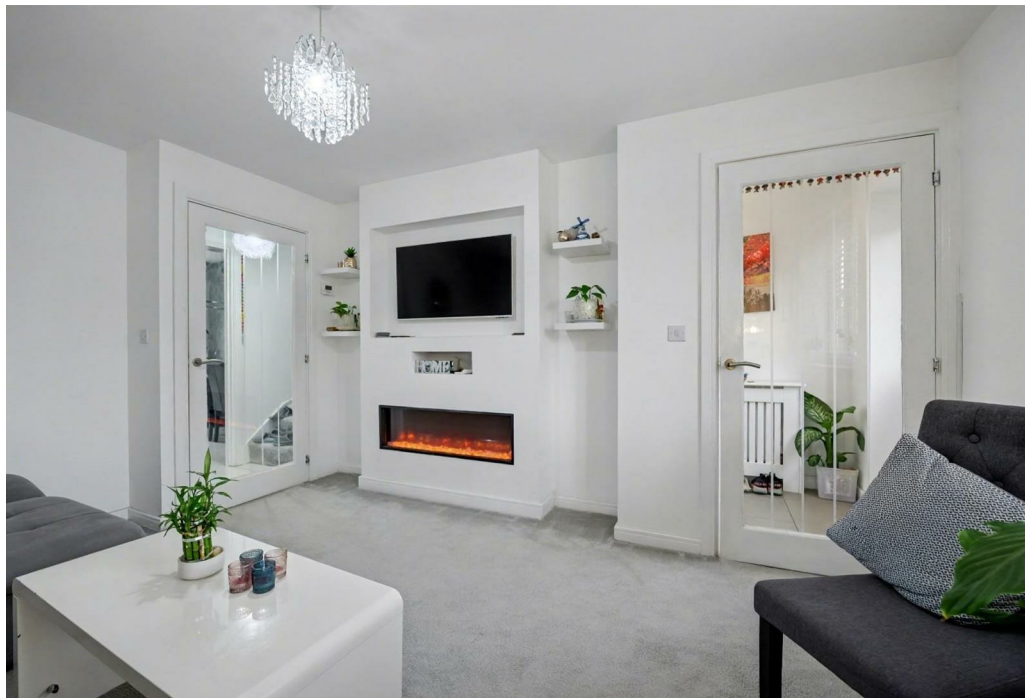
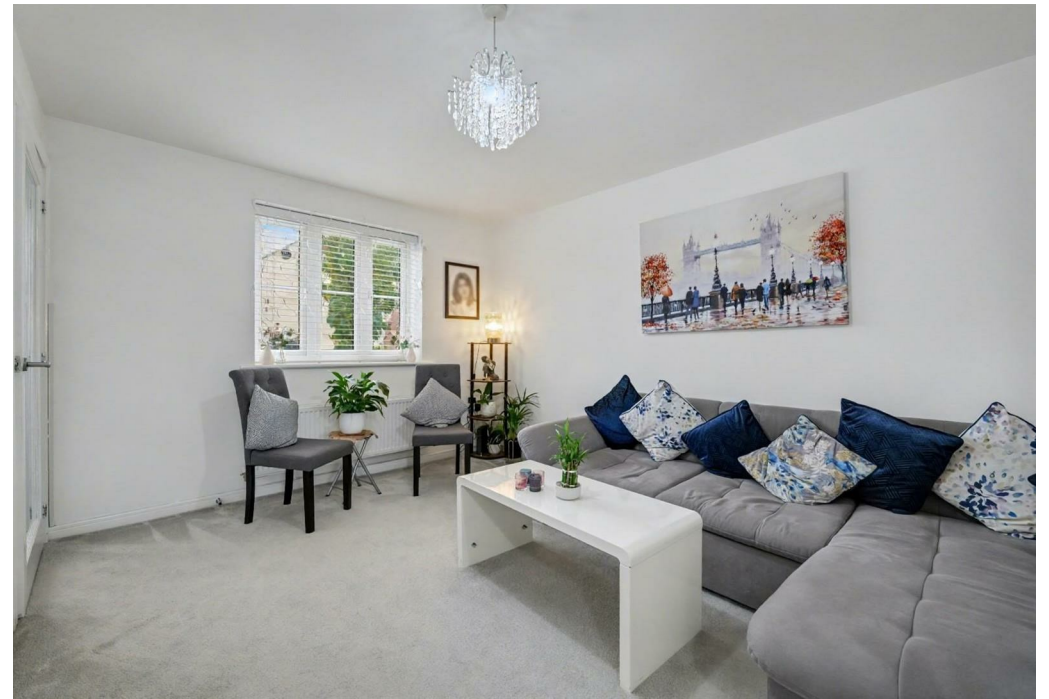
Upstairs, there are three well-proportioned bedrooms, including a generous principal bedroom with a private en-suite walk-in shower room. The family bathroom is finished to a high standard, featuring sleek marble-effect tiles and a fresh white suite, adding a touch of luxury to everyday living.

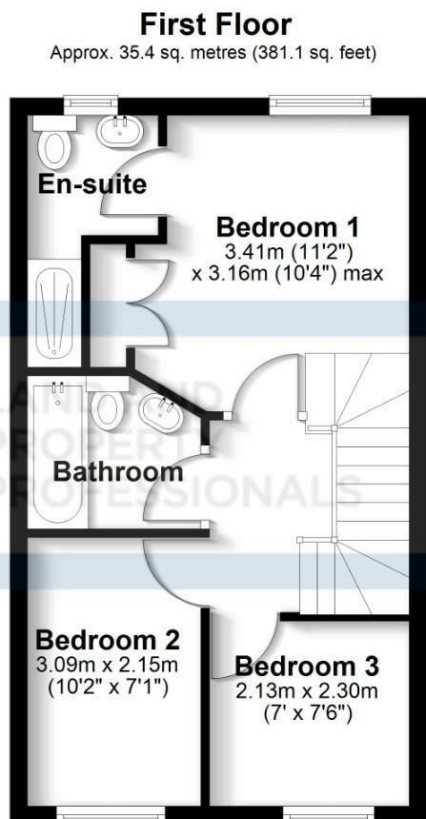
Outside, the rear garden is designed for low maintenance and includes a patio area, lawn, and decking, offering a lovely outdoor space for relaxing or entertaining. To the front, a private driveway provides excellent off-road parking. Ideally located, this home is within easy reach of local schools, shops, and major transport links including the M6 and A444, making it perfect for commuters while maintaining a peaceful residential setting.

Homes of this calibre in Stoke Heath (CV2) are rarely available and always in high demand. Don't miss your opportunity—contact our Coventry team today to arrange a viewing or visit [www.sheldonbosleyknight.co.uk](http://www.sheldonbosleyknight.co.uk)









Total area: approx. 69.7 sq. metres (750.2 sq. feet)

All efforts have been made to ensure the measurements are accurate on this floor plan, however these are for guidance purposes only.

Plan produced using PlanUp.

## Key Features

- Detached three bedroom family home
- Sought After Area
- Close to hospital, good schools and excellent local amenities
- En suite Shower Room
- Off street parking
- Good size rear Garden
- Ideal for First-Time Buyers or Young Families
- Quiet location

**£300,000**

EPC Rating - B

Tenure - Freehold

Council Tax Band - C

Local Authority -  
Coventry City Council

### DISCLAIMER

All fixtures and fittings mentioned in these particulars are included in the sale, all others in the property are specifically excluded. Photographs are reproduced for general information and it must not be inferred that any item is included for sale with the property. These particulars are thought to be materially correct. Their accuracy is not guaranteed and they do not form part of any contract.

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